



Form 20—Lodgement of building work documentation

<p>1. Building description</p>	<p>Building use Shed</p>	<p>Building class 10a</p>	<p>Shop/tenancy no. N/A</p>	<p>Storey/level N/A</p>
<p>2. Property description The description must identify all land the subject of the application. The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice. If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include no., street, suburb/locality and postcode) Lot 51 Wilkinson Road Tuan QLD Postcode 4650</p> <p>Lot and plan details (attach list if necessary) Lot 51 / SP/RP MCH567 / Zoning Low Res</p> <p>Shop/tenancy no. (if applicable) Storey/level (if applicable) Total area of land (m²/ha) <input type="text"/> <input type="text"/> <input type="text" value="40560"/></p> <p>In which local government area is the land situated? Fraser Coast Regional Council</p>			
<p>3. Documents lodged Please attach one copy of these documents, submitted under section 5 of the <i>Planning Regulation 2017</i> and sections 86 and 87 of the <i>Building Act 1975</i>. (Tick applicable box/es) The private certifier must ensure each document is marked to identify it as a document approved by the private certifier and relating to the development approval. Before giving the documents to the assessment manager the private certifier must ensure the approved form for the application is completed.</p>	<p><input checked="" type="checkbox"/> The application</p> <p><input checked="" type="checkbox"/> The approval documents for the application</p> <p><input checked="" type="checkbox"/> The decision notice or negotiated decision notice for the application</p> <p><input checked="" type="checkbox"/> A copy of the plans, drawings and specifications and other documents and information lodged by the applicant, stamped approved or otherwise endorsed by the assessment manager</p> <p><input type="checkbox"/> A list of required fire safety installations and required special fire services applying to the building work</p> <p><input type="checkbox"/> Certificates relied on to decide the application</p> <p><input checked="" type="checkbox"/> Information relied on to decide the application in relation to local government easements, encumbrances or estates or interests in land likely to be relevant to the application</p>			
<p>4. Confirmation receipt If the assessment manager is a local government, the local government must immediately give the private certifier a document acknowledging the receipt of the archiving fee. The private certifier must not give the applicant any approved documents until the private certifier has received the acknowledgement from the assessment manager. If the certifier works for a company, a contact person must be shown.</p>	<p>Private certifier's name (in full) Ross Scott</p> <p>Company name (if applicable) Contact person Coast Wide Certification Queensland Ross Scott</p> <p>Postal address Unit 3 - 64 Boat Harbour Drive Pialba QLD Postcode 4655</p> <p>Building certifier reference number R24231</p>			
<p>5. Local government acknowledgement Section 87 of the <i>Building Act 1975</i> requires local government to give the certifier a document acknowledging the payment of the fee. This tear off section can be provided to the certifier as acknowledgment of receipt of the fee. Should local government choose not to use this tear off section, another form of receipt is to be provided.</p>	<p>Local government use only The local government acknowledges payment of the archiving fee</p> <p>For future enquiries concerning these documents please quote this reference: <input type="text" value="Local government reference"/></p> <p>Archiving fee Fee receipt number (if applicable) \$ <input type="text"/> <input type="text"/></p> <p>Date acknowledgement issued <input type="text"/></p>			

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Version 5 – July 2017

6. Development information relied on		
The development information identified in this section was relied upon in deciding the attached development application.		
Item No	Development information relied on	Tick if information relied upon
A—Infrastructure/services information		
A1	Plan of any sewer main or sanitary drain within or adjacent to the property, including approved connection point and any limitations on capacity	<input checked="" type="checkbox"/>
A2	Plan of any water main within or adjacent to the property, including approved connection point and any limitations on capacity	<input type="checkbox"/>
A3	Plan of any storm water main or drain within or adjacent to the property, including approved connection point and any limitations on capacity	<input type="checkbox"/>
A4	Plans of any overland flow path within the property	<input type="checkbox"/>
A5	Details of any required land application area for on-site disposal of sewerage, including any reserve area	<input type="checkbox"/>
A6	Details of approved swimming pool discharge point	<input type="checkbox"/>
A7	Location of mine subsidence areas	<input type="checkbox"/>
B—Information specific to property		
B1	Details of any local government easements affecting the land	<input checked="" type="checkbox"/>
B2	Flood level information, including minimum floor levels applicable to the property	<input type="checkbox"/>
B3	Details of amenity aesthetic resolutions	<input type="checkbox"/>
B4	Details of any land-slip area applicable to the property (including mine subsidence)	<input type="checkbox"/>
B5	Details of the location and nature of any filling that has been placed on the property	<input type="checkbox"/>
B6	Details of any erosion control requirements applicable to the property	<input type="checkbox"/>
B7	Details of any acid-sulphate soils contained in the property	<input type="checkbox"/>
B8	Details of any airport height limitations applicable to the property	<input type="checkbox"/>
B9	Details of any known contaminated soil contained on the property	<input type="checkbox"/>
B10	Details of any declared bushfire prone areas that affect the property	<input type="checkbox"/>
B11	Details of any local laws that affect the property	<input type="checkbox"/>
B12	Details of any conservation/protected areas that affect the property	<input type="checkbox"/>
B13	Details of any vegetation management area that affects the property	<input type="checkbox"/>
B14	Details of any nature conservation or wet-lands areas that affect the property	<input type="checkbox"/>
C—Engineering information		
C1	Details of any design standards/location requirements for vehicle crossings applicable to the land	<input type="checkbox"/>
C2	Details of any limitations applicable to on-site driveway gradients or locations, for the property	<input type="checkbox"/>
C3	Details of any water supply catchments that affects the property	<input type="checkbox"/>
C4	Details of any sewerage surcharge area that affects the property	<input type="checkbox"/>
C5	Details of any drainage problem area that affects the property	<input type="checkbox"/>
C6	Details of levels of proposed road or footway works that affect the property	<input type="checkbox"/>
D—Existing building information		
D1	Details of existing buildings on the property if available	<input type="checkbox"/>
D2	Copies of current Certificates of Classification for the property	<input type="checkbox"/>
D3	Hydraulic services plans (existing commercial buildings)	<input type="checkbox"/>
D4	Details of any heritage-listed buildings	<input type="checkbox"/>
D5	Records relating to fire safety application and inspection	<input type="checkbox"/>
E—Development/planning approvals		
E1	Details of any current development approvals applicable to the property	<input type="checkbox"/>
E2	Details of any self-assessable requirements that may be relevant to the proposed building work. For example, in relation to domestic construction, covered car parking spaces, or water storage tanks.	<input type="checkbox"/>
E3	Details of any other approvals (other than building work) necessary for the proposed development to proceed	<input type="checkbox"/>
F—Local government registers of information		
F1	Relevant sections of register of exemptions under the <i>Building Act 1975</i> , Chapter 8, Swimming Pool Fencing	<input type="checkbox"/>
F2	Relevant sections of register of resolutions under <i>the Building Act 1975</i> about land liable to flooding	<input type="checkbox"/>
F3	Relevant sections of register of show cause and enforcement notice information	<input type="checkbox"/>

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (*DA Form 2*) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (*DA Form 2*).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Universal Home Improvements
Contact name (only applicable for companies)	Sam Hill
Postal address (PO Box or street address)	535 Boat Harbour Drive
Suburb	Torquay
State	QLD
Postcode	4655
Country	Australia
Contact number	4125 2300
Email address (non-mandatory)	s.hill@universalhomeimprovements.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

2.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

Unit No.	Street No.	Street Name and Type	Suburb
	Lot 51	Wilkinson Road	Tuan
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4650	51	MCH567	Fraser Coast Regional Council

2.2) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
- No

5) Identify the assessment manager(s) who will be assessing this development application

Ross Scott

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
- No

List of approval/development application	Reference	Date	Assessment manager
<input checked="" type="checkbox"/> Approval	CAR24/0021	04/04/2024	Rebecca Gesch
<input type="checkbox"/> Development application			

<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- Yes – a copy of the receipted QLeave form is attached to this development application
- No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- Not applicable (*e.g. building and construction work is less than \$150,000 excluding GST*)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$0.00		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
- No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:		Place ID:	
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PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes – the *Referral checklist for building work* is attached to this development application
- No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (<i>individual or company full name</i>)	M & J Grunske
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Contact name <i>(applicable for companies)</i>	Mark & Julianne Grunske
Postal address <i>(P.O. Box or street address)</i>	Lot 51 Wilkinson Road
Suburb	Tuan
State	QLD
Postcode	4650
Country	Australia
Contact number	0488 998 489
Email address <i>(non-mandatory)</i>	mudcrabsdirect@gmail.com
Mobile number <i>(non-mandatory)</i>	0488 998 489
Fax number <i>(non-mandatory)</i>	

15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Universal Home Improvements
Contact name <i>(applicable for companies)</i>	Sam Hill
QBCC licence or owner – builder number	1003008
Postal address <i>(P.O. Box or street address)</i>	535 Boat Harbour Drive
Suburb	Torquay
State	QLD
Postcode	4655
Contact number	4125 2300
Email address <i>(non-mandatory)</i>	s.hill@universalhomeimprovements.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

16) Provide details about the proposed building work

What type of approval is being sought?

- Development permit
 Preliminary approval

b) What is the level of assessment?

- Code assessment
 Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|---|--|
| <input checked="" type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

Shed

e) Proposed construction materials

- | | | | |
|----------------|---------------------------------------|---|--|
| External walls | <input type="checkbox"/> Double brick | <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Curtain glass |
|----------------|---------------------------------------|---|--|

	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? (if applicable)			
/			
g) New building use/classification? (if applicable)			
10a / Shed			
h) Relevant plans			
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .			
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application			

17) What is the monetary value of the proposed building work?

123,476.00

18) Has Queensland Home Warranty Scheme Insurance been paid?

Yes – provide details below

No

Amount paid	Date paid (dd/mm/yy)	Reference number
1071.1	09/04/2024	014760340

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*
- Note:** It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.

All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.
 Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

10a

Name	QBCC Certification Licence number	QBCC Insurance receipt number
Ross Scott	A1072632	014760340

Notification of engagement of alternative assessment manager

Prescribed assessment manager	Ross Scott
Name of chosen assessment manager	Ross Scott
Date chosen assessment manager engaged	11/04/2024
Contact number of chosen assessment manager	4124 0100
Relevant licence number(s) of chosen assessment manager	A1072632

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	Shed / Shed		
QLeave project number			
Amount paid (\$)	\$0.00	Date paid (dd/mm/yy)	

Date received form sighted by assessment manager	
Name of officer who sighted the form	

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? <i>(if applicable)</i>		/	
New building use/classification?		Shed / 10a	
Site area (m ²)	40560	Floor area (m ²)	297

DECISION NOTICE – APPROVAL – R24231

Planning Act 2016 section 63

Applicant:	Universal Home Improvements	Owner:	M & J Grunske
Address:	535 Boat Harbour Drive, Torquay QLD 4655	Address:	Lot 51 Wilkinson Road, Tuan QLD 4650
Phone:	4125 2300	Phone:	0488 998 489
Address of development:			Lot 51 Wilkinson Road, Tuan QLD 4650
Lot/DP:			51 MCH567
Local Government Area:			Fraser Coast Regional Council
Details of proposed development:			Shed
Building Classification:			10a

Dear Sam Hill,

I wish to advise that, on 18/04/2024, the above development application was:

- APPROVED IN FULL
- APPROVED IN PART FOR THE FOLLOWING:
- APPROVED IN FULL WITH CONDITIONS*
- APPROVED IN PART FOR THE FOLLOWING:
- REFUSED

*Note: The conditions of this approval are set out in Attachment 1. The conditions show which conditions have been imposed by the assessment manager and which conditions have been imposed by a referral agency.

1. Details of the Approval

This application is not taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*.

Type of approval	Planning Regulation 2017 reference	Development Permit	Preliminary Approval
Carrying out building work (<i>assessable under the Building Act 1975</i>)	Schedule 9, part 1	<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Variation Approval Details

Not applicable.

3. Conditions

This approval is subject to the conditions set out in Attachment 1.

4. Further Development Permits

Not applicable.

5. Properly Made Submissions

Not applicable — No part of the application required public notification. There were no properly made submissions for this application.

6. Referral Agencies for the Application

REFERRAL	NUMBER	CAR 24/0021
	DETAIL	QDC MP 1.2 AND FCPS (HEIGHT RELAXATION)
	REFERRAL AGENCY	FRASER COAST REGIONAL COUNCIL
	DATE	04/04/2024

7. Environmental Authority

Not applicable.

8. Other requirements under section 43 of the Planning Regulation

- a. **Building work under section 43 (c) of the Planning Regulation** The proposed classification of the building under the Building code are as follows: **10a.**
- b. **Section 43 (e) of the Planning Regulation** Not applicable.

9. Approved Plans and Specifications

The approved plans and/or documents for this development approval are listed in the following table:

ARCHITECTURAL PLANS	NUMBER	N/A
	DETAIL	SITE PLAN
	DRAWN BY (LIC No.)	APPLICANT
	DATE	11/04/2024
ENGINEERING PLANS	NUMBER	HERV35906 1-8
	DETAIL	FAIR DINKUM BUILDS
	DRAWN BY (RPEQ No.)	NORTHERN CONSULTING ENGINEERS (9985)
	DATE: (Form 15)	30/01/2024

10. Currency Period for the Approval (section 85 of the *Planning Act 2016*) – this development approval will lapse in 24 months.

11. Appeal Rights

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

Appeal by an applicant

An applicant for a development application may appeal to the Planning and Environment Court against the following:

- the refusal of all or part of the development application
- a provision of the development approval
- the decision to give a preliminary approval when a development permit was applied for
- a deemed refusal of the development application.

An applicant may also have a right to appeal to the Development tribunal. For more information, see [schedule 1 of the *Planning Act 2016*](#).

COAST WIDE CERTIFICATION

QUEENSLAND

Unit 3 - 64 Boat Harbour Drive,
Pialba QLD 4655
(p): 07 4124 0100
(e): coastwide48@gmail.com

Appeal by a submitter

A submitter for a development application may appeal to the Planning and Environment Court against:

- any part of the development application for the development approval that required impact assessment
- a variation request.

The timeframes for starting an appeal in the Planning and Environment Court are set out in [section 229 of the Planning Act 2016](#).

If you wish to discuss this matter further, please contact the undersigned.

Yours sincerely,

Dated: 18/04/2024



Ross Scott
A1072632

ATTACHMENT 1: GENERAL CONDITIONS OF APPROVAL FOR BUILDING WORK RESIDENTIAL

Building Approval Number: R24231
 Property Address: Lot 51 Wilkinson Road, Tuan QLD 4650
 Scope of work: Shed

1. CURRENCY PERIOD

The currency period is that stipulated in clause 2 of the attached Decision Notice. This permit will lapse if building work covered by this approval has not been commenced and or completed within the period specified.

2. MANDATORY INSPECTIONS REQUIRED AT THE FOLLOWING STAGES:

Inspection	Private Certifier	Competent Person
Footing – excavation of foundation material and before footings are laid	<input type="checkbox"/>	<input type="checkbox"/>
Slab – after placement of formwork and steel for slab and before concrete is poured	<input type="checkbox"/>	<input type="checkbox"/>
Frame – before cladding or lining is fixed to the frame	<input type="checkbox"/>	<input type="checkbox"/>
Reinforced masonry construction – before wall cavities are filled	<input type="checkbox"/>	<input type="checkbox"/>
Final - at completion of all aspects of building work	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Fire Wall - before work is covered or enclosed	<input type="checkbox"/>	<input type="checkbox"/>

3. APPROVED USE OF BUILDING / STRUCTURE

This development approval has been issued for a shed (Class 10a) only. All Class 10a buildings are approved for non-habitable uses only. Any other structures that may or may not be depicted on the approved plans are excluded from this approval.

Wind condition : N3 (Region B)
 Soil Class: A-M (as per engineering)

4. CLASS 10A STRUCTURES

Class 10a buildings within prescribed boundary clearances (1.5m) are permitted subject to the provisions of the Queensland Development Code Parts 1.1 and 1.2. Class 10a building or parts within prescribed boundary clearances must not be greater than 4.5m height above natural ground level or have a mean height greater than 3.5m above natural ground level. The maximum total length of all Class 10a buildings or parts must not exceed 9m along any one boundary. Class 10a buildings or parts within prescribed boundary clearances must not be closer than 1.5m to a required window in a habitable room of an adjoining dwelling.

5. SITING REQUIREMENT

It is the applicant's responsibility to ensure all building works are located on the subject site, as per the approved plans, including accurate lot boundary identification, if required. A siting certificate (Form 12) from a qualified surveyor may be required prior to the approval of that stage.

6. SITE WORKS

All sites to be contained fully within allotment boundaries. All cut and fill batter slopes must comply with BCA Vol 2: H1P1 HP 3.2 Table 3.2.1. All site works must be completed at time of final inspection. Maximum cut and fill batters and/or retaining wall heights to be 1000mm above natural ground level (without additional, approved engineering documentation).

7. ENGINEERING DRAWINGS

It is the applicant's responsibility to ensure that conditions on-site reflect those designed for in the approved engineering documentation (including soil conditions). The certifier accepts no responsibility for uninspected building work. If conditions differ to the approved conditions, additional inspections and/or revised engineering must be provided to the certifier prior to construction.

8. BUSHFIRE ASSESSMENT (ADVISORY)

This site is subject to and impacted by the local authority's MEDIUM bushfire (BUFFER ZONE) overlay. A bushfire assessment of the site has determined the Bushfire Attack Level to be BAL 12.5.

NO ADDITIONAL construction requirements as per AS3959 2009 have been conditioned on the approved structure as there is no dwelling within 6m of the shed. Despite this, it is recommended that additional bushfire construction be considered for the proposed building work for future protection of property and/or future dwelling.

9. SEDIMENT CONTROL

The builder shall, during the construction period, ensure that no sediment leaves the site. Retention devices shall be employed and maintained throughout construction period.

10. SURFACE WATER DRAINAGE AROUND BUILDING (ADVISORY)

The external finished ground levels surrounding the slab should be graded to a slope of not less than 50mm over the first 1000mm from the building in accordance with BCA VOL 2 H2D2 HP 3.3.3.

11. STORMWATER DISCHARGE

All stormwater is to be discharged to a legal point of discharge as identified below. In any case roofwater shall not cause nuisance to adjoining properties or the existing buildings on site. Roofwater discharge for collection of portable water prohibits lead gutters, downpipes and flashings on any roof. Stormwater drainage and discharge must be completed in accordance with BCA VOL 2 HP3.3.5 and discharge direct to:

<input checked="" type="checkbox"/> Kerb and Channel 100 diameter outlets	<input type="checkbox"/> Interlot stormwater connection
<input type="checkbox"/> Existing stormwater system	<input type="checkbox"/> Rain water tanks with a capacity of _____ litres
<input type="checkbox"/> Subsurface rubble pits _____ m ³	<input type="checkbox"/> Concrete spreaders to disperse on site (not to cause a nuisance to adjoining properties)

12. GUTTERS AND DOWNPIPES

Gutters and downpipes must be constructed and installed in accordance with BCA Vol. 2 H2D6 HP 3.3 and comply with AS/NZS3S003.2 or AS/NZS3500.5 (Part 5). Downpipes must not be more than 12m apart and fixed as close as possible to valley gutters. Where downpipes are more than 1.2m from the valley provision for overflow must be made.

13. PLUMBING AND DRAINAGE COMPLIANCE ASSESSMENT

This site relies on an on-site effluent treatment plant for sewerage management. This approval does not imply approval to impact previous/future plumbing and drainage approvals.

Applicant to confirm location and potential impacts of this approval on any previous/future approvals for plumbing and drainage and seek advice from the relevant authority prior to construction commencement.

14. GLAZING

All glazing in buildings must comply with the requirements of BCA Vol 2: H2D7 HP 8.2 and AS1288 2021 (As amended). Internal and external glazing must be covered by a glazing certificate and provided to the certifier prior to finalising the approval.

15. GARAGE DOORS

Garage doors and large openings in external walls must be constructed in accordance with AS/NZS 1170.2 Amend 4 -2021 as referenced in BCA VOL 2: 2023. Certification of this is to be provided to the certifier prior to finalisation.

APPLICANT PLEASE NOTE: This condition requires either an 'open' engineering design for internal pressures for the approved building work, or an appropriately rated garage door, certified (Form 15) for the required, site specific design wind speed.

16. ASSUMED FLAT SITE

Unless site specific contour details have been provided in an acceptable format this approval has been granted for a flat building pad on natural firm soil. Building work is not to be constructed on uncontrolled fill (Cut or Fill).

17. DECISION NOTICE AND THE APPROVED PLANS

This decision notice and attached conditions are to be read in conjunction with the approved plans and form part of the approved document set. Plans may or may not be annotated or amended to reflect conditions of this approval. If there is a discrepancy between the approved plans and the attached conditions then the decision notice and associated conditions take precedence over the approved plans.

18. LICENSED SUPPLIERS/CONTRACTORS

It is a requirement of this approval that all works are completed by appropriately qualified, licensed and insured suppliers and contractors.

It is the responsibility of the applicant/builder that all works undertaken, and all materials supplied meet the conditions of the relevant Australian Standards and are considered by the NCC 2022 as conforming building products under the legislation. Contractor licensing must be current and approved by the QBCC for work in Queensland and all contractors/employees must be appropriately insured and compliant with current Workplace Health and Safety requirements.

19. CERTIFICATES

The following certificates (Form 15, Form 16) must be submitted prior to the development approval being finalised:

- Form 15: Engineer Design Certificate
- Form 15: Window Glazing Design Certificate
- Form 16: Certifier Final Inspection
- Form 21: Certifier Final Certificate

UNIVERSAL HOME IMPROVEMENTS QLD PTY LTD
535 BOAT HARBOUR DR
TORQUAY QLD 4655

Your construction work is now covered by the Queensland Home Warranty Scheme

How does it work?


The Queensland Home Warranty Scheme is a compulsory statutory insurance scheme for residential construction work carried out in Queensland.

Contractors are required to collect the premium from the homeowner and pay it to the QBCC.

Homeowners may be entitled to up to \$200,000 in compensation if the contractor fails to rectify defects or complete the contracted works.

HOMEOWNERS –

What you should do now

1. Check your Notice of Cover (attached)
Call us on 13 93 33 if any details are incorrect
2. Know what you are covered for and for how long
Full terms of cover can be found here:
 <http://qbcc.build/termscover01Sept2018>
3. Comply with your contract conditions
Failure to do so may impact your ability to claim and may result in civil action by your contractor.

Is additional coverage right for you?

You may, if you want to, decide to take out additional cover from QBCC which will increase the maximum amount payable in the event of a claim to \$300,000.

Important: if you decide to take out additional cover, then you must do so within 30 business days of entering the contract, or prior to the work starting (whichever is earlier).

Learn more here:  <http://qbcc.build/addcover> or  13 93 33

CONTRACTORS –

What you should do now

1. Check the Notice of Cover (attached)
Call us on 13 93 33 if any details are incorrect
2. Comply with your contract conditions
Failure to do so may result in a claim or civil action by the owner
3. Use this Notice of Cover to get any necessary development approval for the works.



Are you protecting yourself?

Know your responsibilities and that QBCC may recover the cost of any claim from you.

Learn more here:  <http://qbcc.build/getinformedHWI>



Shane Wilson
Director
Insurance Services

Questions?  13 93 33
Coast Wide Certification Queensland
Reference: R24231  <http://qbcc.build/yourcoverPD1>
Approval Date: 18/04/2024
Subject to the conditions attached to the decision notice
Ross Scott
Certifier
A1072632

The QBCC runs free webinars for home owners about building and renovating, and there's a dedicated section on the website for home owners! Go to: <https://qbcc.build/home-owners>

NOTICE OF COVER QUEENSLAND HOME WARRANTY SCHEME

Subject to the limitations and exclusions expressed in schedule 6 QBCC Regulation 2018

COVER COMMENCEMENT DATE		11 January 2024
NOTIFICATION NUMBER		014760340
THE LAND	Address:	WILKINSON RD TUAN
	Real Property Description:	Lot 51 On MCH 567
THE CONTRACTOR	Name	UNIVERSAL HOME IMPROVEMENTS QLD PT
	Address:	535 BOAT HARBOUR DR TORQUAY QLD 4655
	Licence No.:	1003008
	Licence Class:	

Roof and Wall Cladding
Sheds, Carports and Garages
Structural Metal Fabrication and Erection

The Insured Residential Construction Work
Type of Work

Description of Work

Reno/Alter/Add/Repair/Extension

Shed

Insurable Value: \$123,476.00

Premium Paid: \$1,071.10

OPTIONAL ADDITIONAL COVER

No

NOTE:

This Notice is issued in respect of Residential Construction Work as described in the Queensland Building and Construction Commission Act 1991 and confirms for the assessment manager or compliance assessor that the appropriate insurance premium has been paid as required by section 68E of the Act. These particulars are current at the date of issue but may change subsequent to that date.

IMPORTANT INFORMATION:

Ensure you obtain and keep the following documents in case you need to make an insurance claim at any time within the 6 year 6 month insurance period:

- A complete copy of the contract, signed by all parties
- All contract variations, in writing and signed by all parties to the contract
- A copy of the building specification and approved building plans
- Receipts or other evidence of all payments made to the builder.

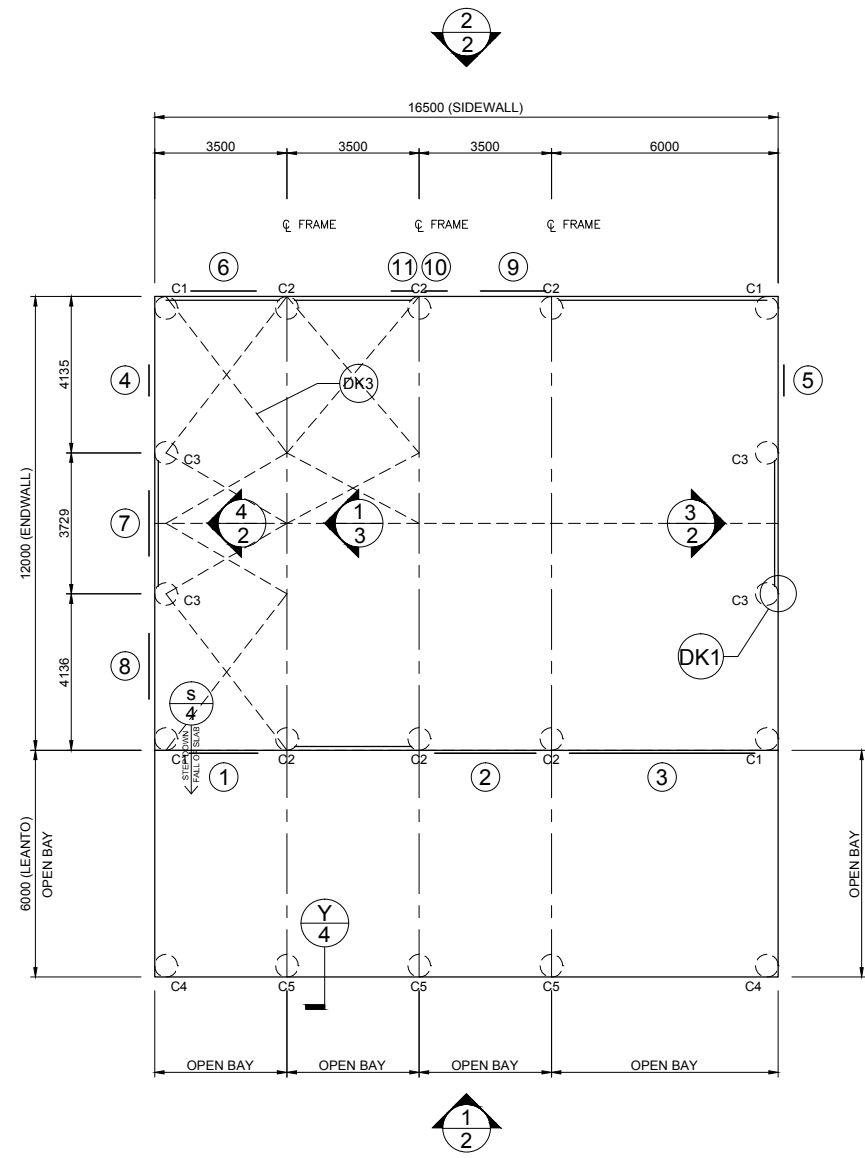
NOTE THE FOLLOWING EXCLUSIONS AND LIMITATIONS:

- Duplex – if the duplex is not completed by the contractor, any claim for completion, including defects in the incomplete work, is limited to \$200,000.
- Three or more living units - a person who enters into 1 or more contracts to build 3 or more living units is not entitled to assistance. Subsequent purchasers of a unit are entitled to assistance.
- Construction Management or Cost-Plus contracts – where these types of contracts have been used there is no entitlement to make a claim to complete incomplete works. There is cover for defects.

Cost Plus Certification Queensland
 Reference: K24231
 Approval Date: 18/04/2024
 Subject to the conditions attached to the
 decision notice
Ross Scott
 Certifier
 A1072632

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Coast Wide Certification Queensland
 IF IN DOUBT, ASK. Reference: R24231
 Approval Date: 18/04/2024
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1 FOUNDATION PLAN AND MEMBER LAYOUT
 SCALE: 1 = 200

MEMBER LEGEND

C1	C25019
C2	2C25024
C3	C20024
C4	C20019
C5	2C20024

ROOF STRAP BRACING TO BE CONNECTED TO THE PURLIN CLOSEST TO THE LINE OF THE END WALL MULLION
 ROOF STRAP BRACING CAN BE PLACED FROM EITHER END OF THE BUILDING PROVIDING THE STRAP PATTERN REMAINS AS PER PLANS

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

1 OF 8
 SHEET
 JOB NO. HERV35906
 DATE 30/1/2024
 CHECKED TM
 DRAWN FDB

STEEL BUILDING BY (CONTACT)
UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD
 FOR 07 4125 2300
 AT **MARK & JULIANNE GRUNSKÉ**
 LOT 51 WILKINSON ROAD
 BIG TUAN

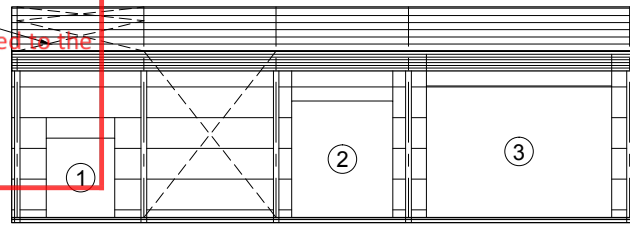


NORTHERN CONSULTING engineers
 Civil & Structural Engineers
 50 Punari Street
 Currajong, Qld 4812
 Fax: 07 4725 5850
 Email: design@nceng.com.au
 ABN 341 008 173 56
 Registered Chartered Professional Engineer
 Registered Professional Engineer (Civil & Structural) QLD
 Registered Certifying Engineer (Structural) N.T.
 Registered Engineer - (Civil) VIC
 Registered Engineer - (Civil) TAS
 Regn. No. 2558980
 Regn. No. 9985
 Regn. No. 116373ES
 Regn. No. PE0002216
 Regn. No. CC5648M

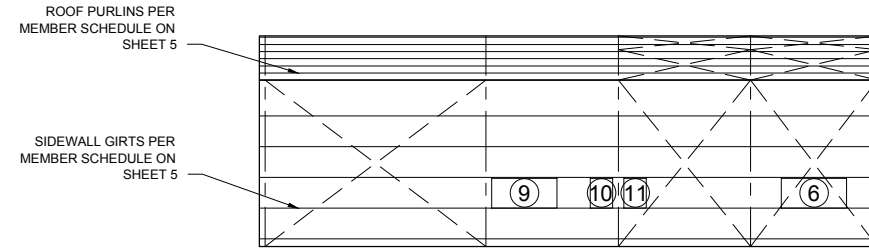
Mr Timothy Roy Messer BE MIEAust RPEQ
 Signature *T. Messer*
 Date 30/1/2024
 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register

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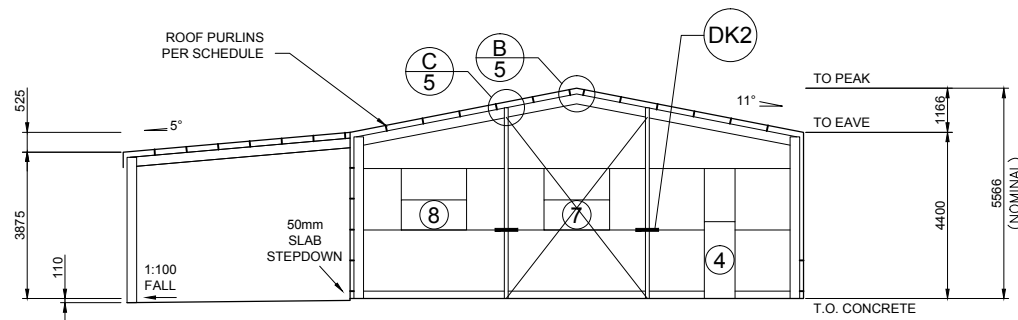
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 A1072632



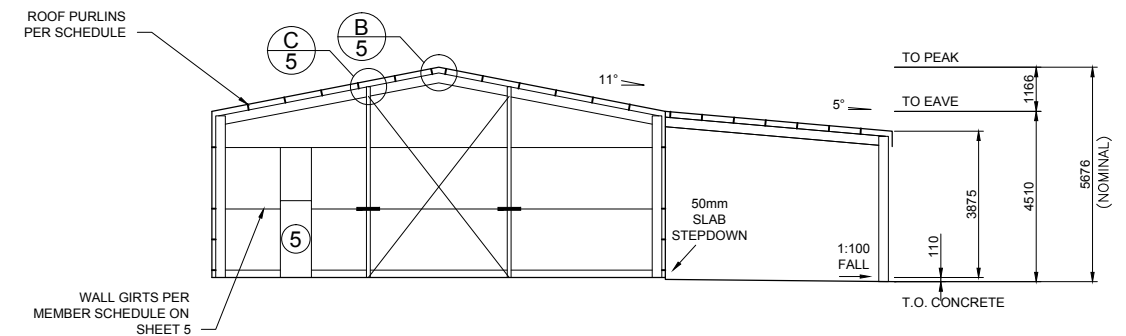
1 SIDEWALL EXTERIOR ELEVATION
 2 SCALE: 1 = 200



2 SIDEWALL EXTERIOR ELEVATION
 2 SCALE: 1 = 200



4 ENDWALL INTERIOR ELEVATION
 2 SCALE: 1 = 200



3 ENDWALL INTERIOR ELEVATION
 2 SCALE: 1 = 200

X BRACING IS REQUIRED IN 4 SIDE BAYS, 2 END BAYS, 3 ROOF BAYS.

SEE LAYOUT OR PLANS FOR PLACEMENT. FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS.

2 OF 8
 SHEET
 JOB NO. HERV35906
 DATE 30/1/2024
 CHECKED TM
 DRAWN FDB

STEEL BUILDING BY (CONTACT)
UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD
 FOR 07 4125 2300
 AT **MARK & JULIANNE GRUNSKÉ**
 LOT 51 WILKINSON ROAD
 BIG TUAN

fair dinkum builds™
 SHED SAFE™
 accornd

NORTHERN CONSULTING engineers
 Civil & Structural Engineers
 50 Punari Street
 Currajong, Qld 4812
 Fax: 07 4725 5850
 Email: design@nceng.com.au
 ABN 341 008 173 56
 Registered Chartered Professional Engineer
 Registered Professional Engineer (Civil & Structural) QLD
 Registered Certifying Engineer (Structural) N.T.
 Registered Engineer - (Civil) VIC
 Registered Engineer - (Civil) TAS
 Regn. No. 2558980
 Regn. No. 9985
 Regn. No. 116373ES
 Regn. No. PE0002216
 Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ
 Signature *T. Messer*
 Date 30/1/2024
 Registered on the NPER in the areas of practice
 of Civil & Structural National Professional
 Engineers Register

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Coast Wide Certification Queensland

Reference: R24231

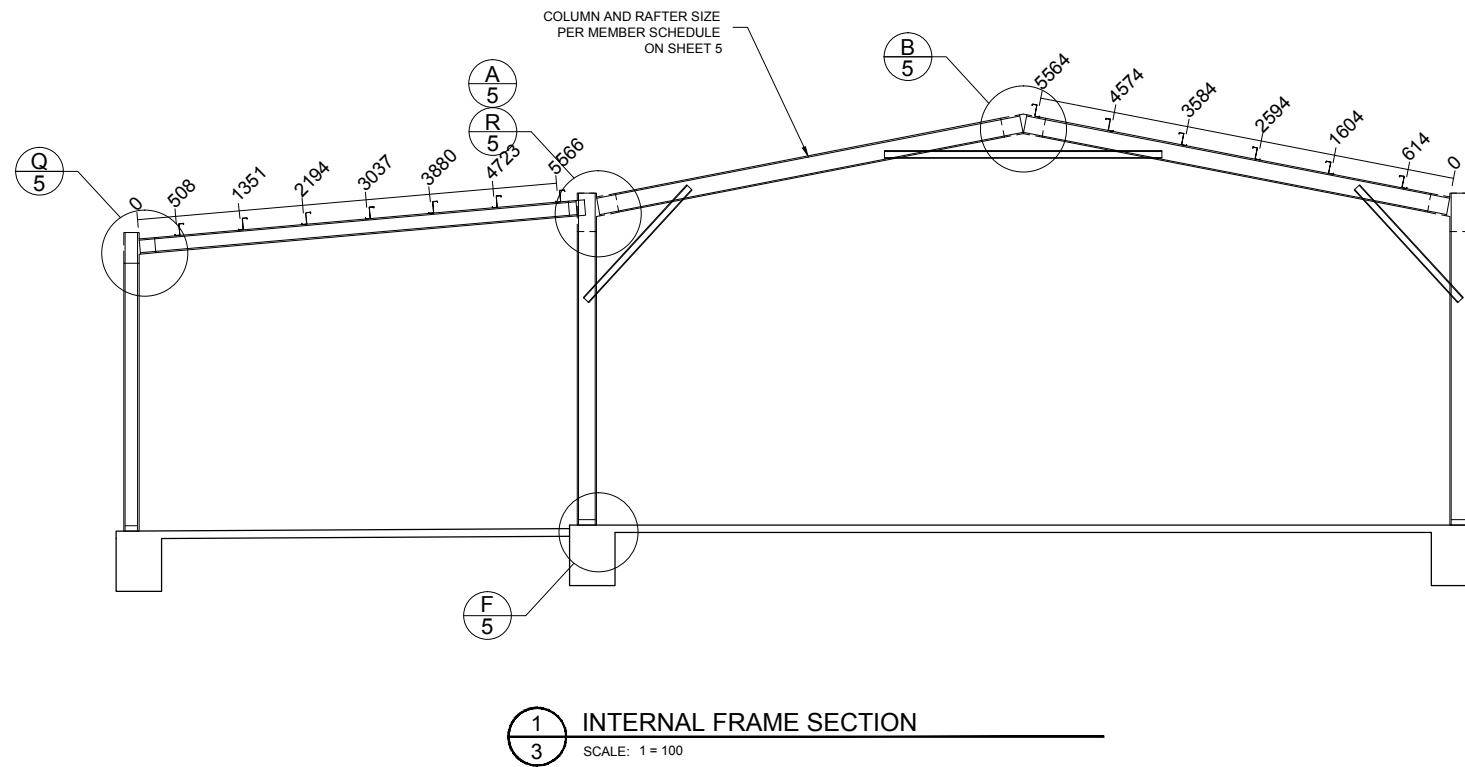
Approval Date: 18/04/2024

Subject to the conditions attached to the decision notice


Ross Scott

Certifier

A1072632



Refer to Sheet #4 for concrete specification.

3 OF 8 SHEET	JOB NO. HERV35906	DATE 30/1/2024	CHECKED TM	DRAWN FDB	STEEL BUILDING BY UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD (CONTACT) FOR 07 4125 2300 AT MARK & JULIANNE GRUNSKÉ LOT 51 WILKINSON ROAD BIG TUAN			 Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ Signature  Date 30/1/2024 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register
	Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. PE0002216 Regn. No. CC5648M							

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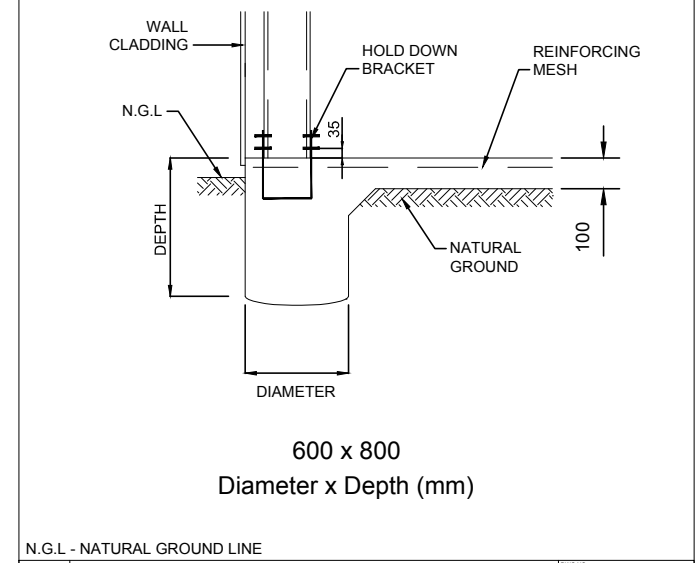
STRUCTURAL GENERAL NOTES

- GOVERNING CODE** : NATIONAL CONSTRUCTION CODE (NCC), LOADING TO AS1170 - ALL SECTIONS. BUILDING SUITABLE AS EITHER A PRIVATE GARAGE CLASS 10a, OR A FARM SHED (CLASS 7 OR 8), UNLESS OTHERWISE SPECIFICALLY NOTED. FOR USE AS A FARM SHED, IT MUST MEET THE FOLLOWING REQUIREMENTS:
 - BE LESS THAN 2000 SQM IN AREA (INCLUSIVE OF ANY MEZZANINE FLOOR AREA).
 - MUST BE LOCATED ON A FARM AND USED IN CONNECTION WITH FARMING PURPOSES.
 - BUILDING IS NOT TO BE OCCUPIED FREQUENTLY NOR FOR EXTENDED PERIODS BY PEOPLE, WITH A MAXIMUM OF 1 PERSON PER 200 SQM OR 2 PERSONS MAXIMUM IN TOTAL WHICHEVER IS THE LESSER.
- DRAWING OWNERSHIP** : THESE DRAWINGS REMAIN THE PROPERTY OF FBHS (AUST) PTY LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF FBHS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM FBHS.
- DRAWING SIGNATURE REQUIREMENTS** : THESE DRAWINGS ARE NOT VALID UNLESS SIGNED BY THE ENGINEER. THE ENGINEER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR DRAWINGS WITHOUT A SIGNATURE. EACH TITLE BLOCK CONTAINS A WATER MARK UNDER THE CUSTOMERS NAME CONTAINING THE DATE OF PRODUCTION OF THE DRAWINGS; THE DRAWINGS ARE TO BE SUBMITTED TO COUNCIL WITHIN 21 DAYS OF THIS DATE. THIS IS TO ENSURE THAT ONLY CURRENT DRAWINGS ARE IN CIRCULATION.
- CONTRACTOR RESPONSIBILITIES** : CERTIFIER AND CONTRACTOR TO CONFIRM (ON SITE) THAT THE WIND LOADINGS APPLIED TO THIS DESIGN ARE TRUE AND CORRECT FOR THE ADDRESS STATED IN THE TITLE BLOCK. CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE THE UNDERSIGNING ENGINEERS. THE ENGINEER / FBHS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE INDICATED DRAWING SCALES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. FOR FURTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE INSTRUCTION MANUAL.
- ENGINEERING** : THE ENGINEER / FBHS ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT DURING CONSTRUCTION. THE UNDERSIGNING ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN PORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT. THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY FBHS. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY FBHS WITH OTHER PLANS AND/OR OTHER COMPONENTS THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCIES, THE LATEST DRAWINGS PROVIDED BY FBHS SHALL GOVERN. NO ALTERATIONS TO THIS STRUCTURE (INCLUDING REMOVAL OF CLADDING) ARE TO BE UNDERTAKEN WITHOUT THE CONSENT OF THE CERTIFYING ENGINEER. OPENINGS SUCH AS WINDOWS AND DOORS NEED TO BE INSTALLED AS PER THE PRODUCT MANUFACTURER'S INFORMATION/DETAILS. THE BUILDING IS DESIGNED AS A STAND-ALONE BUILDING, NOT RELYING ON ANY ADJACENT BUILDING. IF THE PERMANENT OPENING IS OBSTRUCTED BY ANY ADJACENT BUILDING AND WITHIN A DISTANCE OF 0.5M OF SAID OPENING, THE DESIGN SHOULD BE REFERRED TO THE DESIGN ENGINEER FOR REVIEW OF INTERNAL PRESSURES AND POSSIBLE REDESIGN.
- INSPECTIONS** : NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
- SOIL REQUIREMENTS** : SITE CLASSIFICATION TO BE A, S OR M ONLY. SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION. REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT, IN THIS CASE SEEK FURTHER ENGINEERING ADVICE.
- CLASS 10a or Class 7 FOOTING DESIGNS** : THE FOUNDATION DOCUMENTED IS ALSO APPROPRIATE FOR CLASS 10a or CLASS 7 BUILDING DESIGNS ON 'M-D', 'H', 'H-D' OR 'E' CLASS SOILS, IF TOTAL SLAB AREA IS UNDER 100m SQUARE AND THE MAXIMUM SLAB DIMENSION (LENGTH AND WIDTH) IS LESS THAN OR EQUAL TO 12m. PLEASE BE AWARE THAT THE SLAB DESIGN FOR H & E CLASS SOILS IN THESE INSTANCES ARE DESIGNED TO EXPERIENCE SOME CRACKING. THIS CRACKING IS NOT CONSIDERED A STRUCTURAL FLAW OR DESIGN ISSUE, AND IS SIMPLY COSMETIC IN NATURE. IF THIS IS A CONCERN TO THE CLIENT IT IS ADVISED THEY DISCUSS OTHER OPTIONS WITH THE RELEVANT DISTRIBUTOR PRIOR TO THE POURING OF THE SLAB.
- CONCRETE REQUIREMENTS** : ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH AS2870 AND AS3600. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1, 25MPa FOR EXPOSURE A2, 32MPa FOR EXPOSURE B1, 40MPa FOR EXPOSURE B2 AND 50MPa FOR EXPOSURE C, IN ACCORDANCE WITH SECTION 4, AS3600. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLUMP TO BE 80mm +/- 15mm. SLABS TO BE CURED FOR 7 DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN, DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES 1 LAYER OF SL7/2 REINFORCING MESH IS TO BE INSTALLED ON STANDARD SLABS WITH A MINIMUM 30MM COVER FROM CONCRETE SURFACE. CONCRETE REINFORCING TO CONFORM TO AS 1302, AS1303 & AS 1304. ALL REINFORCING COVER TO BE A MINIMUM OF 30mm.
- STRUCTURAL STEEL REQUIREMENTS** : ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE <= 1mm fy = 550MPa, GAUGE > 1mm < 1.5mm fy = 500MPa, GAUGE >= 1.5mm fy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO AS4600. ALL BOLT HOLE DIAMETERS TO STRAIT GENERAL PUNCHINGS.
- FOOT TRAFFIC** : FOR ERECTION AND MAINTENANCE PLEASE NOTE THE FOLLOWING DEFINED FOOT TRAFFIC ZONES:
 - CORRUGATED: WALK ONLY WITHIN 200MM OF SCREW LINES. FEET SPREAD OVER AT LEAST TWO RIBS.
 - MONOCLAD: WALK ONLY IN PANS, OR ON RIBS AT SCREW LINES.

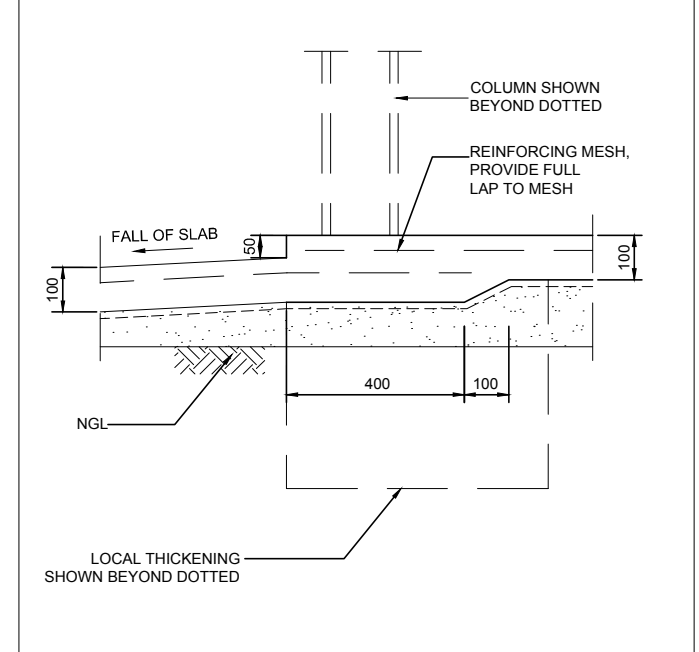
Coast Wide Certification Queensland
Reference: R24231
Approval Date: 18/04/2024

Subject to the conditions attached to the decision notice

Ross Scott
Certifier
A1072632



Y BORED LOCAL THICKENING DETAIL SBOHDB



S SLAB STEP DOWN DETAIL SSD

PROJECT DESIGN CRITERIA	
ROOF LIVE LOAD:	0.25 kPa
BASIC WIND SPEED:	VR 57 m/s
SITE WIND SPEED:	VsItB 44.9 m/s
DESIGN WIND SPEED*:	44.9 m/s
WIND REGION:	Reg B1
TOPOGRAPHY FACTOR, Mt:	1
SHIELDING FACTOR, Ms:	1
MAX GROUND SNOW LOAD:	N/A
MAX ROOF SNOW LOAD:	N/A
SITE ALTITUDE:	N/A
TERRAIN CATEGORY:	TCat 3
SOIL SAFE BEARING CAPACITY:	100 kPa
RETURN PERIOD:	1:500
LIMITING CPI 1:	-0.3
LIMITING CPI 2:	0
IMPORTANCE LEVEL:	2

DETAIL KEYS	
DK1	ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)
DK2	FLYBRACING PER DETAIL L/5
DK3	X-BRACING IN ROOF ABOVE (SEE DETAIL A/6)
DK4	DOUBLE X-BRACING IN ROOF ABOVE (SEE DETAIL A/6)

SCHEDULE OF OPENINGS							
DOOR	OPENING WIDTH	OPENING HEIGHT	MAX	OPENING TYPE	HEADER GIRT	OPENING JAMBS	WIND RATED
1	1810	2100		2.10H X 1.81 X0 STANDARD GLASS SLIDING DOOR	SINGLE	XSRDZ15030	YES
2	2670	3080*		3.10H X 2.77 CB "SERIES A #	SINGLE	Z25019P	YES
3	4900	3480*		3.50H X 5.06 CB PLANETARY GEAR "SERIES B	SINGLE	Z25024P	YES
4	820	2040		EXTERNAL PA DOOR 180 DEG	SINGLE		YES
5	820	2040		EXTERNAL PA DOOR 180 DEG	SINGLE		YES
6	1730	790		WINDOW	SINGLE		YES
7	1730	790		WINDOW	SINGLE		YES
8	1730	790		WINDOW	SINGLE		YES
9	1730	790		WINDOW	SINGLE		YES
10	590	790		WINDOW	SINGLE		YES
11	590	790		WINDOW	SINGLE		YES

NOTES: 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION.
2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.

* ROLLER DOOR OPENING HEIGHT DEPENDENT ON FINAL BUILD LOCATION.

* The designer has increased the design wind speed to 47.9 m/s to meet project requirements.

4 OF 8 SHEET	JOB NO. HERV35906	DATE 30/1/2024	CHECKED TM	DRAWN FDB	STEEL BUILDING BY UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD	(CONTACT) 07 4125 2300	fair dinkum builds™ 	 Civil & Structural Engineers 50 Punari Street Currarong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ
	AT LOT 51 WILKINSON ROAD BIG TUAN								Signature

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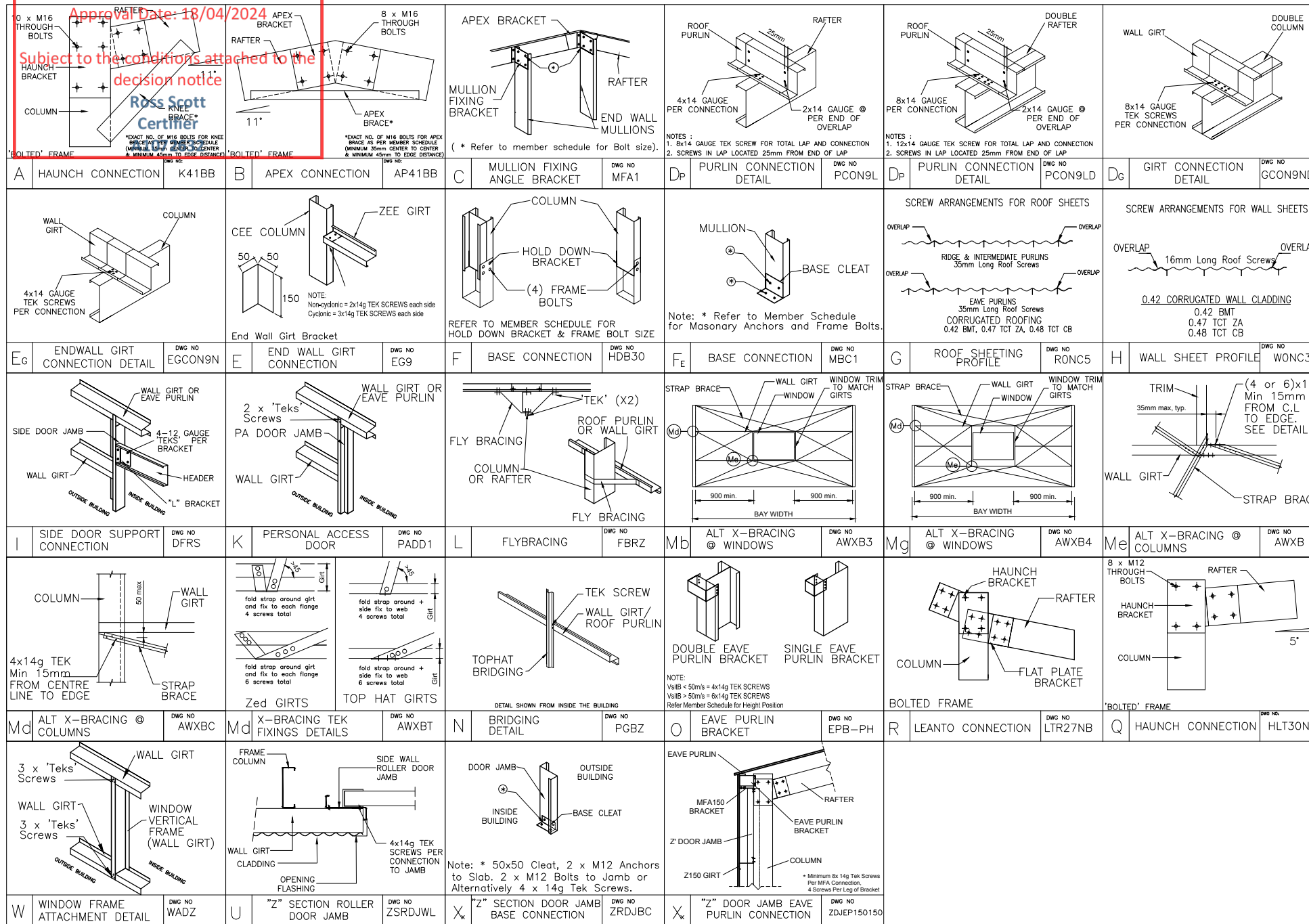
Coast Wide Certification Queensland

Reference: R24231

Approved Date: 18/04/2024

Subject to the conditions attached to the decision notice

Ross Scptt
Certifier



MEMBER AND MATERIAL SCHEDULE

1	END WALL RAFTER	Single C25019
2	C.S. FRAME RAFTER	Single C25024
3	END FRAME COLUMN (C1)	Single C25019
4	C.S. FRAME COLUMN (C2)	Double C25024
5	MULLION (C3)	Single C20024
6	RL END FRAME OPEN CORNER COLUMN (C4)	Single C20019
7	RL OPEN BAY COLUMN (C5)	Double C20024
8	DOOR (#2) JAMB	Z25019
9	DOOR (#3) JAMB	Z25024 w/ C20019 Strong Behind
10	DOOR (#3) JAMB HEADER	C30024
11	C.S. FRAME KNEE BRACE	Single C20019 @ 2.16 LONG 3 bolts each end
12	KNEE BRACE HEIGHT UP COLUMN	2.94m
13	KNEE BRACE LENGTH UP RAFTER	1.31m
14	C.S. FRAME APEX BRACE	Single C20019 @ 3.67 LONG 2 bolts each end
15	APEX POSITION FROM RAFTER END	1.83m
16	END WALL RL RAFTER	Single C20019
17	C.S. RL RAFTER	Double C20024
18	END ANCHOR BRACKETS (# PER DETS.)	HOLD DOWN BRKTS 250 X 75 X 5-400 DEEP GAL FLAT
19	MAIN DBL ANCHOR BRACKETS (# PER DETS.)	HDB Double 250 X 150 X 5 Gal Flat
20	RL END ANCHOR BRACKETS (# PER DETS.)	HOLD DOWN BRKTS 200 X 50 X 5-400 DEEP GAL FLAT
21	RL DBL ANCHOR BRACKETS (# PER DETS.)	HDB Double 200 X 150 X 5 Gal Flat
22	MULLION ANCHOR BOLTS (# PER DETS.)	Screw Anchor 16mm x 100 Galv
23	EAVE PURLIN	C15019 (Eave Purlin Bracket 3mm down from top of column)
24	RIGHT LEANTO EAVE PURLIN	C15019 (Eave Purlin Bracket 0mm from top of column)
25	TYP. ROOF PURLIN SIZE	Z15015 (1 rows of bridging)
26	MAIN BLDG. PURLIN SPACING	0.990 m. (6 rows) (Max Allow. 1.000m)
27	ROOF PURLIN BRIDGING	Tophat 64 x 0.75
28	RIGHT LEANTO PURLIN SPACING	0.843 m. (7 rows) (Max Allow. 0.911m)
29	TYP. SIDEWALL GIRT SIZE	Z15015 (1 rows of bridging)
30	MAIN BLDG. SIDEWALL GIRT SPACING	0.814 m. (5 rows) (Max Allow. 0.921m)
31	SIDEWALL GIRT BRIDGING	Tophat 64 x 0.75
32	RIGHT LEANTO SIDEWALL GIRT SPACING	0.591 m. (0 rows) (Max Allow. 0.653m)
33	TYP. ENDWALL GIRT SIZE	Z15015
34	MAIN BLDG. ENDWALL GIRT SPACING	1.620 m. (3 rows) (Max Allow. 1.799m)
35	MAIN BLDG. ENDWALL GIRT LENGTH	3.83 m. (0.1m Overlap)
36	FRAME SCREW FASTENERS	14-13x22 Hex C/S (SP HD 5/16" Hex Drive)
37	FRAME BOLT FASTENERS	8.8 Hex BN M16x45 Z/P
38	X-BRACING STRAP AND FASTENERS	38 x 1.6mm Strap with 5 x 14g Tek Screws Each End
39	WALL COLOUR	SURFMIST
40	ROOF COLOUR	SURFMIST
41	ROLLER DOOR COLOUR	WINDSPRAY
42	P.A. DOOR COLOUR	WINDSPRAY
43	WINDOW COLOUR	SURFMIST
44	GLASS SLIDING DOOR COLOUR	SURFMIST
45	DOWNPIPE COLOUR	N/A - downpipes by others
46	GUTTER COLOUR	WINDSPRAY
47	CORNER FLASHING COLOUR	SURFMIST
48	BARGE FLASHING COLOUR	WINDSPRAY
49	OPENING FLASHING COLOUR	SURFMIST
50	OPEN BAY HEADER HEIGHT	0.5

"C.S." = CLEARSPAN "L." = LEFT "R." = RIGHT

PURLIN AND GIRT LENGTHS

BAY	WIDTH	PURLIN LENGTH	GIRT LENGTH
1	3.5m	3.68 m. (0.18m Lap)	3.6 m. (0.1m Lap)
2	3.5m	3.85 m. (0.35m Lap)	3.6 m. (0.1m Lap)
3	3.5m	3.98 m. (0.48m Lap)	3.6 m. (0.1m Lap)
4	6m	6.18 m. (0.18m Lap)	6.1 m. (0.1m Lap)

5 OF 8 SHEET

JOB NO. HERV35906

DATE 30/1/2024

CHECKED TM

DATE 30/1/2024

DR FDB

STEEL BUILDING BY (CONTACT)

UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD

FOR 07 4125 2300

AT **MARK & JULIANNE GRUNSKÉ**

LOT 51 WILKINSON ROAD

BIG TUAN

fair dinkum builds™

SHED SAFE™

NORTHERN CONSULTING engineers

Civil & Structural Engineers

50 Punari Street

Currajong, Qld 4812

Fax: 07 4725 5850

Email: design@nceng.com.au

ABN 341 008 173 56

Registered Chartered Professional Engineer

Registered Professional Engineer (Civil & Structural) QLD

Registered Certifying Engineer (Structural) N.T.

Registered Engineer - (Civil) VIC

Registered Engineer - (Civil) TAS

Regn. No. 2558980

Regn. No. 9985

Regn. No. 116373ES

Regn. No. PE0002216

Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ

Signature *T. Messer*

Date 30/1/2024

Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register

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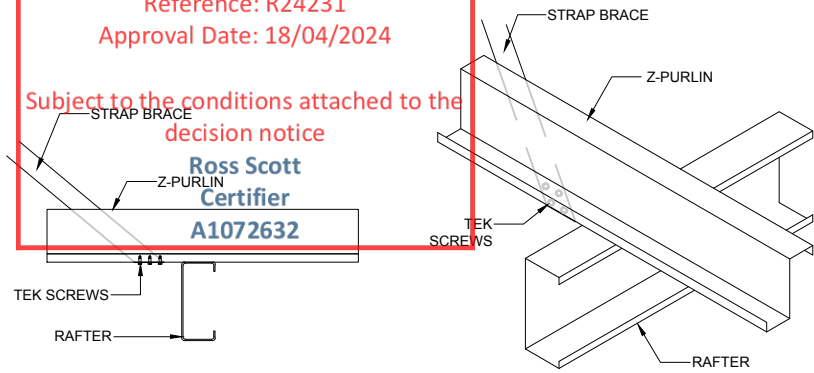
Reference: R24231

Approval Date: 18/04/2024

Subject to the conditions attached to the decision notice

Ross Scott
Certifier

A1072632



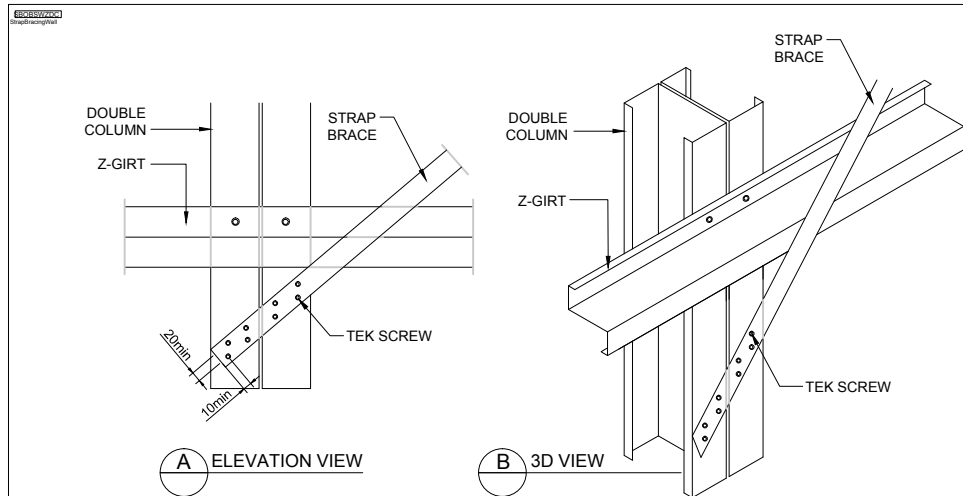
A SIDE VIEW

B 3D VIEW

ROOF STRAP BRACE DETAIL Z-PURLIN



- 32mm STRAP TO HAVE MINIMUM 4-14G SCREWS
- 38mm & 50mm STRAP TO HAVE MINIMUM 5-14G SCREWS
- STRAP BRACE TEK SCREWED TO UNDERSIDE OF PURLIN.
- REFER TO MEMBER SCHEDULE ON THE ENGINEERING PLANS FOR TEK SCREWS AND STRAP BRACE SPECIFICATIONS.



A ELEVATION VIEW

B 3D VIEW

WALL STRAP BRACE DETAIL Z-GIRT



- 32mm STRAP TO HAVE MINIMUM 4-14G SCREWS
- 38mm & 50mm STRAP TO HAVE MINIMUM 5-14G SCREWS
- STRAP BRACE IS BENT OVER GIRT AND TEK SCREWED TO FLANGE OF COLUMN.
- REFER TO MEMBER SCHEDULE ON THE ENGINEERING PLANS FOR TEK SCREWS AND STRAP BRACE SPECIFICATIONS.

6	OF	8
SHEET		
JOB NO.	HERV35906	
DATE	30/1/2024	
CHECKED	TM	
DRAWN	FDB	

STEEL BUILDING BY (CONTACT)
UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD
 FOR 07 4125 2300
 AT **MARK & JULIANNE GRUNSKÉ**
 LOT 51 WILKINSON ROAD
 BIG TUAN



NORTHERN CONSULTING engineers
 Civil & Structural Engineers
 50 Punari Street
 Currajong, Qld 4812
 Fax: 07 4725 5850
 Email: design@nceng.com.au
 ABN 341 008 173 56

Registered Chartered Professional Engineer
 Registered Professional Engineer (Civil & Structural) QLD
 Registered Certifying Engineer (Structural) N.T.
 Registered Engineer - (Civil) VIC
 Registered Engineer - (Civil) TAS

Regn. No. 2558980
 Regn. No. 9985
 Regn. No. 116373ES
 Regn. No. PE0002216
 Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ
 Signature *T. Messer*
 Date 30/1/2024
 Registered on the NPER in the areas of practice
 of Civil & Structural National Professional
 Engineers Register

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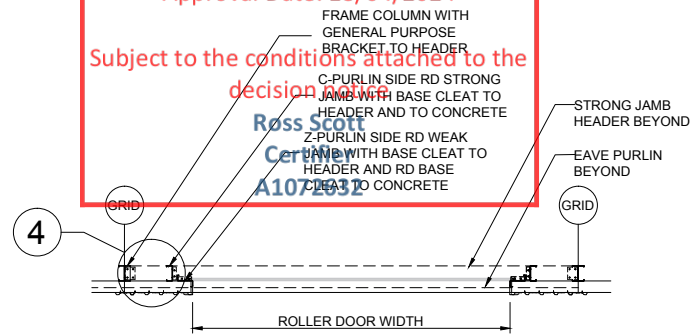
Approval Date: 18/04/2024

Subject to the conditions attached to the decision

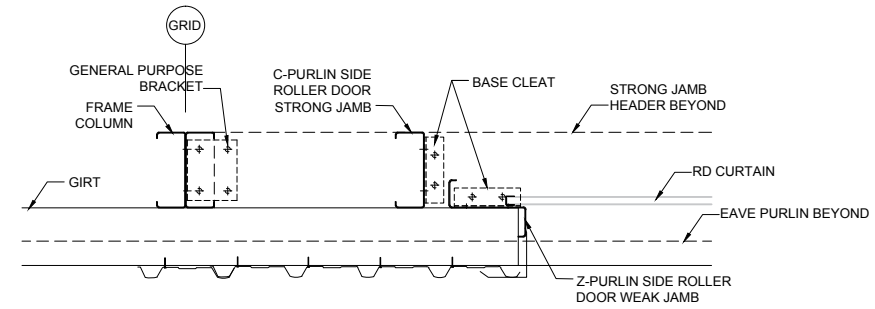
Ross Scott

Certified

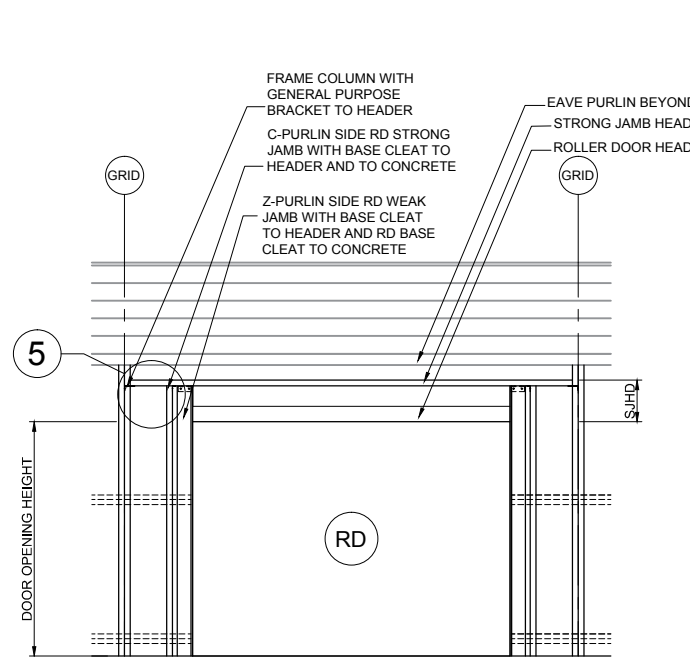
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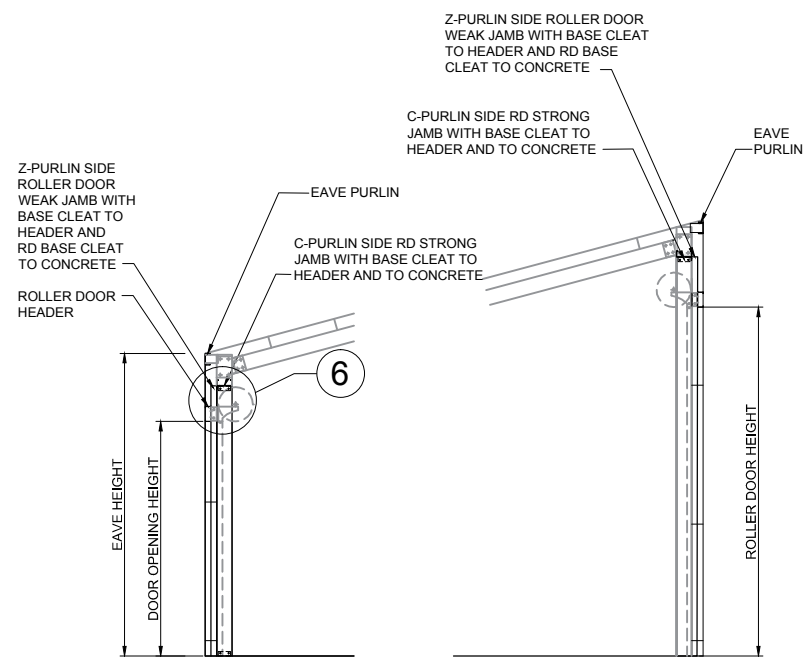
1 PLAN VIEW
SCALE: NTS



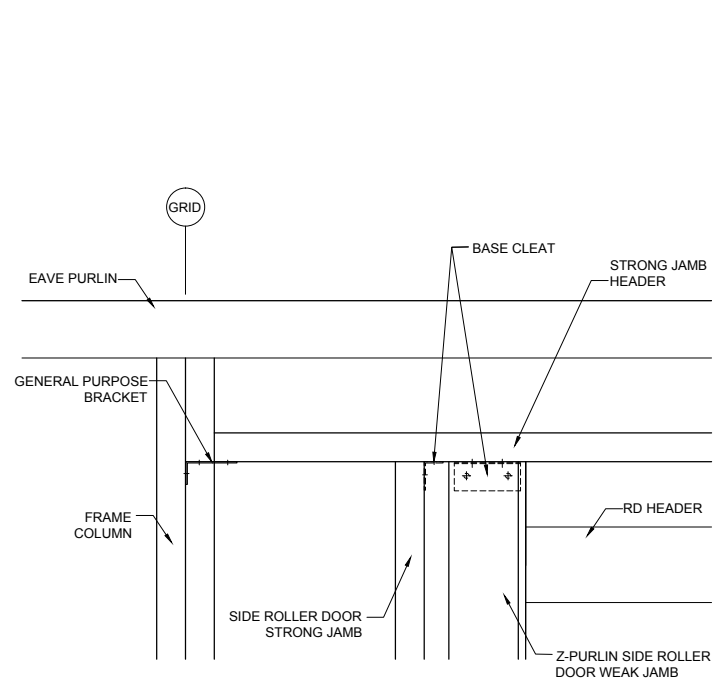
4 PLAN DETAIL
SCALE: NTS



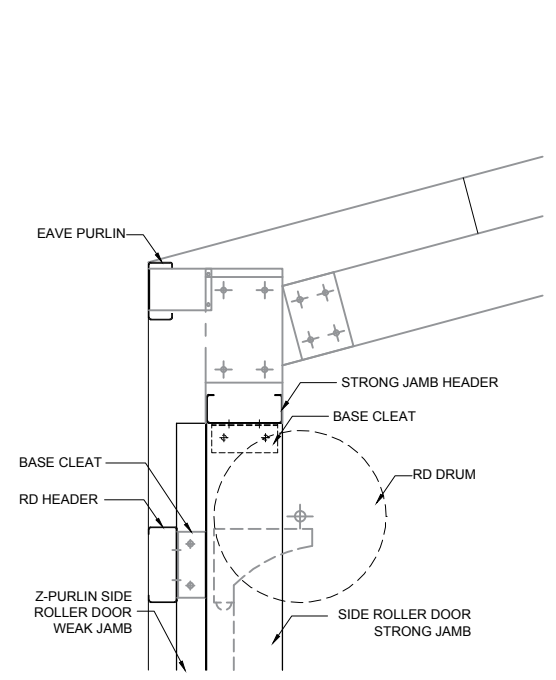
2 ELEVATION VIEW
SCALE: NTS



3 SECTION VIEW
SCALE: NTS



5 ELEVATION DETAIL
SCALE: NTS



6 SECTION DETAIL
SCALE: NTS

NOTE:
SJHD - STRONG JAMB HEADER DISTANCE
NO GREATER THAN 600mm

1 WINDLOCK SIDE ROLLER DOOR-Z PLAN, ELEVATION, SECTION AND DETAILS
SCALE: NTS

NOTE:
DETAILS ARE GENERIC, REFER TO MEMBER SCHEDULE FOR GIRT/PURLIN TYPE AND SPECIFICATIONS, ROLLER DOOR WEAK JAMB SIZE AND SPECIFICATIONS. LAYOUT AND DETAILS ARE INDICATIVE ONLY, REFER TO ACTUAL JOB FOR BUILDING CONFIGURATIONS, ROLLER DOOR HEIGHT AND WIDTH AND ALL OTHER RELEVANT SPECIFICATIONS

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

7 OF 8	SHEET	JOB NO. HERV35906	DATE 30/1/2024	CHECKED TM	DRW BY FDB	STEEL BUILDING BY UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD	(CONTACT) 07 4125 2300	 	 Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Mr Timothy Roy Messer BE MIEAust RPEQ
						FOR MARK & JULIANNE GRUNSKÉ AT LOT 51 WILKINSON ROAD BIG TUAN	Signature <i>T. Messer</i> Date 30/1/2024 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register			

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GUIDE TO THE INSTALLATION OF TEMPORARY BRACING

(REFER TO INSTALLATION GUIDE MANUAL FOR THE TWO METHODS OF CONSTRUCTION)

NOTES:
BRACING MATERIALS - THE SHED ERECTOR TO SUPPLY SPECIFIC BRACING. SUITABLE RIGID MEMBERS CAPABLE OF TENSION AND COMPRESSION OR OPPOSING CHAINS OR OPPOSING LOAD RATED RATCHET STRAPS TO BE USED. (RIGID BRACING AS SHOWN ON DIAGRAM) ROPE BRACING SUITABLE ONLY FOR SMALLER STRUCTURES IN IDEAL CONDITIONS. **the conditions attached to the decision notice**

BRACING LOCATION - TEMPORARY BRACING TO BE ERECTED AS CLOSE TO 45 DEGREE ANGLE AND FIXED TO THE TOP OF THE COLUMN OR MULLION TO ACHIEVE THE OPTIMUM EFFECTIVENESS. IF THERE IS NOT ENOUGH SPACE FOR A 45 DEGREE ANGLE, THEN 20 DEGREE ANGLE IS TO BE THE MINIMUM ANGLE ALLOWED (REFER TO DIAGRAM). RIGID TEMPORARY BRACING MEMBER TO BE BOLTED TO HEAVY ANGLE PEGS HAMMERED INTO THE GROUND OR TO A BRACKET, MASONRY ANCHORED TO THE SLAB.

BRACING REMOVAL - TEMPORARY BRACING TO REMAIN IN PLACE UNTIL CLADDING IS FULLY INSTALLED WHERE POSSIBLE. IN NO CASE SHOULD TEMPORARY BRACING BE REMOVED UNTIL ALL PURLINS, GIRTS (AND PERMANENT CROSS BRACING WHERE USED) ARE FIXED.

SITE SAFETY - DUE CONSIDERATION TO BE GIVEN TO SITE SAFETY IN REGARD TO LOCATIONS OF BRACING AND PEGS.

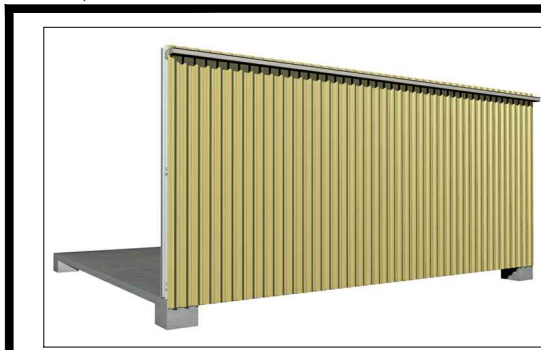
GUIDE APPLICATION - TEMPORARY BRACING AS DESCRIBED IS A MINIMUM REQUIREMENT FOR AN AVERAGE, STANDARD SITE CONDITION. PROVIDE ADDITIONAL BRACING FOR MORE SEVERE AND/OR HIGH EXPOSURE SITE CONDITIONS. ADDITIONAL BRACING TO BE USED AS AND WHERE NECESSARY TO ENSURE THAT ENTIRE FRAME IS RIGID THROUGHOUT CONSTRUCTION. RESPONSIBILITY FOR ENSURING STABILITY OF STRUCTURE REMAINS WITH THE BUILDER.

TILT UP METHOD
 FOR STRUCTURES UNDER 9M SPAN, LESS THAN 3M HIGH AND LESS THAN 12M LONG

- ASSEMBLE THE FIRST SIDEWALL FRAME (COMPLETE WITH WALL SHEETING, BRACING AND GUTTER) ON THE GROUND AND LIFT ASSEMBLED SIDEWALL FRAME INTO POSITION. FIX OFF TEMPORARY SIDE BRACING TO EACH END (REFER TO DIAGRAM). FIX BASE CLEATS.
- ASSEMBLE THE SECOND SIDEWALL FRAME AS PER FIRST SIDEWALL FRAME. LIFT INTO POSITION. FIX OFF TEMPORARY WALL BRACING TO EACH END (REFER TO DIAGRAM) FIX BASE CLEATS.
- FIX GABLE END RAFTERS TO COLUMNS TO TIE WALLS. PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- INSTALL REMAINING RAFTERS. AS EACH RAFTER PAIR IS INSTALLED, AT LEAST ONE PURLIN PER 3M OF RAFTER LENGTH IS TO BE INSTALLED TO SECURE RAFTERS.
- INSTALL REMAINING PURLINS
- INSTALL KNEE AND APEX BRACES IF AND WHERE APPLICABLE.
- REPEAT FOR LEANTO'S.

FRAME FIRST METHOD
 FOR STRUCTURES OVER 9M SPAN, GREATER THAN 3M HIGH AND GREATER THAN 12M LONG

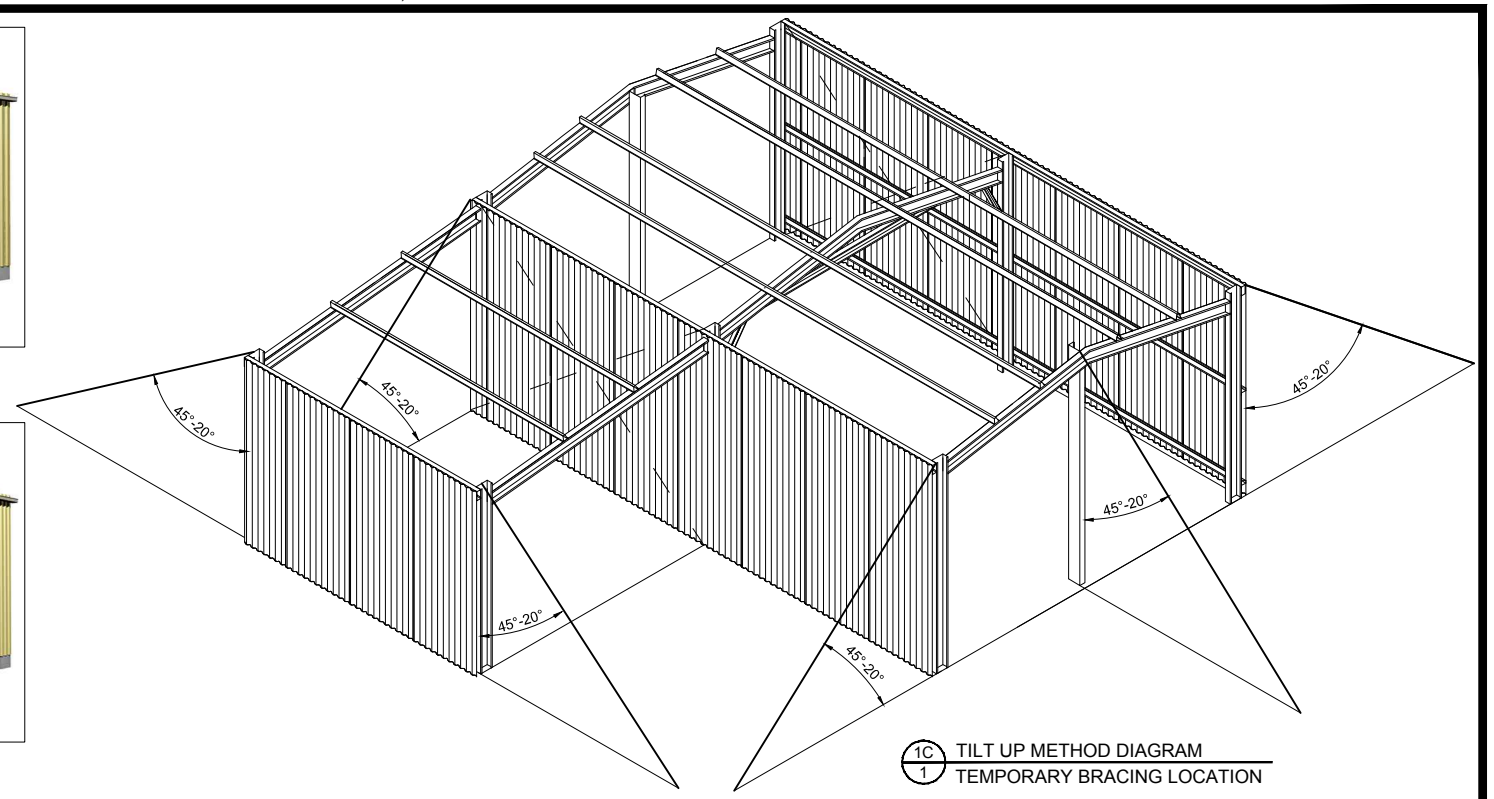
- ASSEMBLE PORTAL FRAMES ON THE GROUND (WITH KNEE AND APEX BRACES IF AND WHERE APPLICABLE). LIFT THE FIRST PORTAL FRAME ASSEMBLY INTO POSITION. FIX OFF TEMPORARY END BRACING (REFER TO DIAGRAM). FIX BASE CLEATS.
- PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- THE SECOND PORTAL FRAME ASSEMBLY TO BE LIFTED INTO POSITION. FIX EAVE PURLINS AND AT LEAST ONE PURLIN PER 3M OF RAFTER TO SECURE FRAME ASSEMBLY. FIX BASE CLEATS. FIX TEMPORARY SIDEWALL BRACING.
- STAND REMAINING PORTAL FRAME ASSEMBLY AS PER STEP C, FIXING TEMPORARY SIDE WALL BRACING TO EVERY SECOND BAY. BRACE OTHER END PORTAL FRAME AS PER FIRST PORTAL FRAME.
- INSTALL REMAINING PURLINS AND GIRTS.
- REPEAT FOR LEANTO'S.



1A FIRST SIDEWALL FRAME
 REFER 1C FOR TEMPORARY BRACING LOCATION



1B SECOND SIDEWALL FRAME
 REFER 1C FOR TEMPORARY BRACING LOCATION



1C TILT UP METHOD DIAGRAM
 TEMPORARY BRACING LOCATION

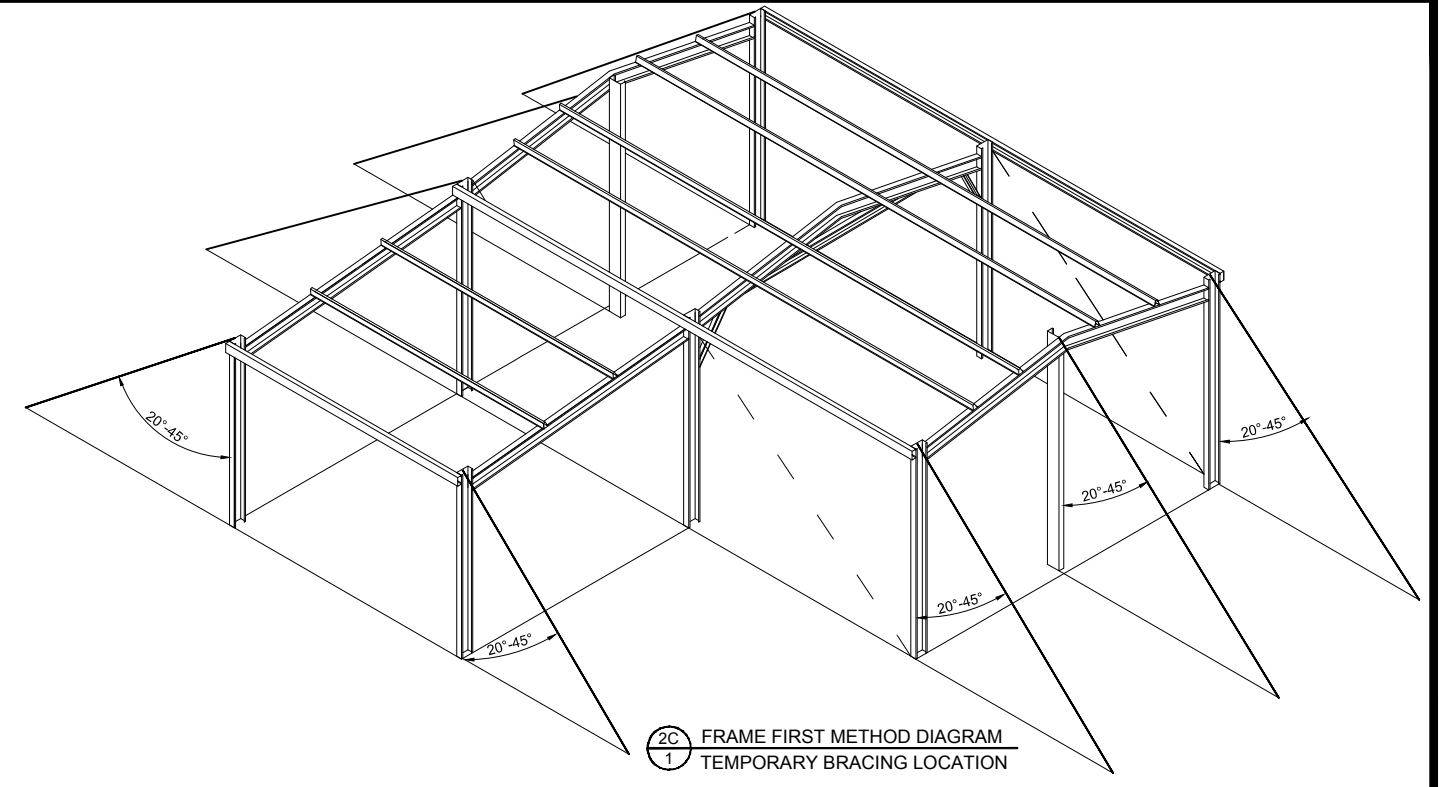
1 TILT UP METHOD DIAGRAM
 SCALE: NTS



2A FIRST & SECOND PORTAL FRAME ASSEMBLY
 REFER 2C FOR TEMPORARY BRACING LOCATION



2B COMPLETE PORTAL FRAME ASSEMBLY
 REFER 2C FOR TEMPORARY BRACING LOCATION



2C FRAME FIRST METHOD DIAGRAM
 TEMPORARY BRACING LOCATION

2 FRAME FIRST METHOD DIAGRAM
 SCALE: NTS

8 OF 8	SHEET	JOB NO.	DATE	CHECKED	DRAWN	STEEL BUILDING BY
		HERV35906	30/1/2024	TM	FDB	UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD

(CONTACT)
UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD
 FOR 07 4125 2300
 AT **MARK & JULIANNE GRUNSKÉ**
 LOT 51 WILKINSON ROAD
 BIG TUAN



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 50 Punari Street
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 Fax: 07 4725 5850
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 ABN 341 008 173 56

Registered Chartered Professional Engineer
 Registered Professional Engineer (Civil & Structural) QLD
 Registered Certifying Engineer (Structural) N.T.
 Registered Engineer - (Civil) VIC
 Registered Engineer - (Civil) TAS

Regn. No. 2558980
 Regn. No. 9985
 Regn. No. 116373ES
 Regn. No. PE0002216
 Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ
 Signature *T. Messer*
 Date 30/1/2024
 Registered on the NPER in the areas of practice
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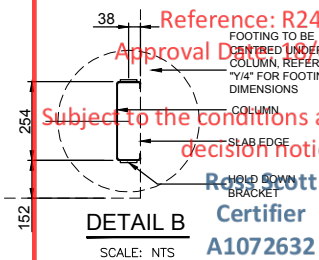
Coast Wide Certification Queensland

Reference: R24231

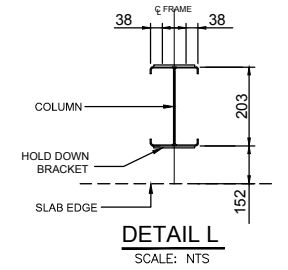
Approval Date: 30/1/2024

Subject to the conditions attached to the decision notice

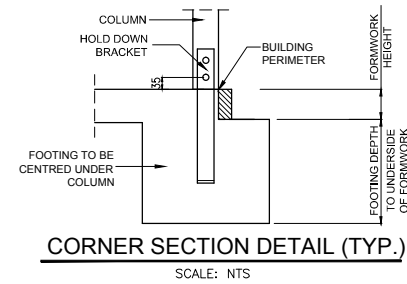
Russell Scott
Certifier
A1072632



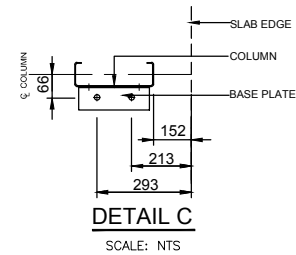
DETAIL B
SCALE: NTS



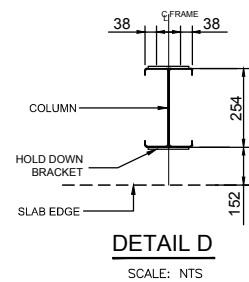
DETAIL L
SCALE: NTS



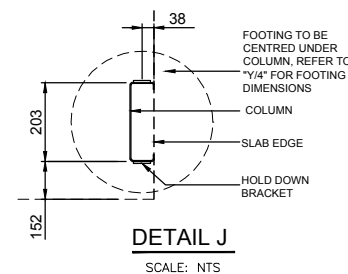
CORNER SECTION DETAIL (TYP.)
SCALE: NTS



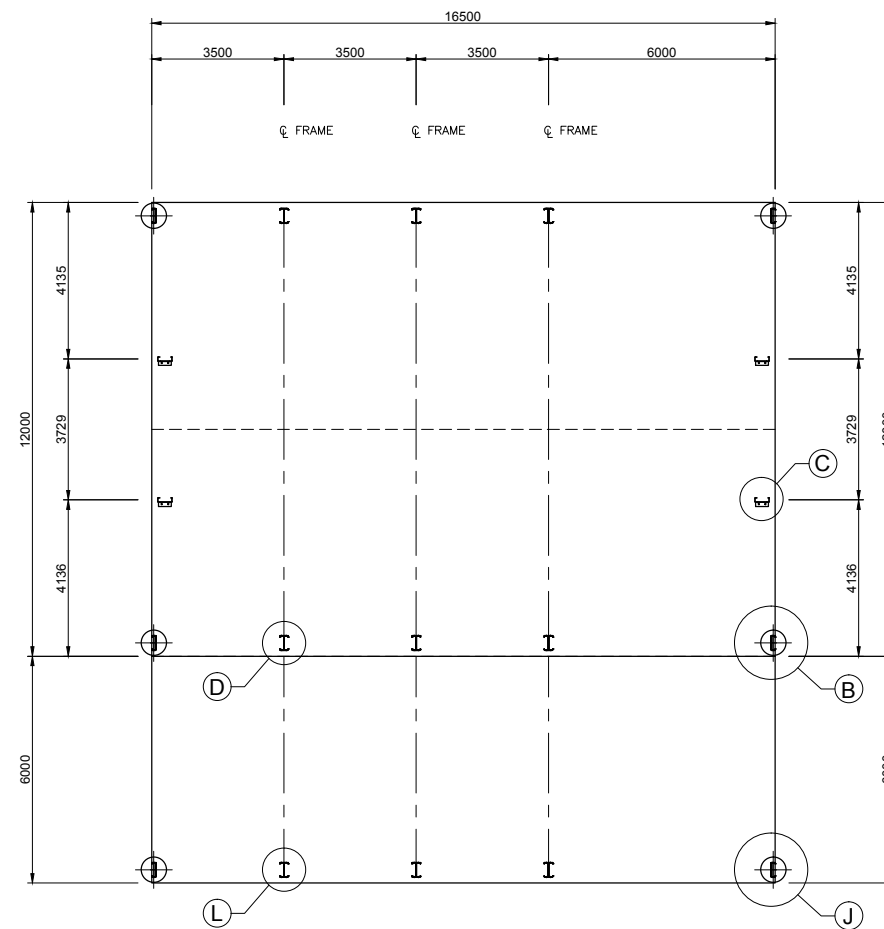
DETAIL C
SCALE: NTS



DETAIL D
SCALE: NTS



DETAIL J
SCALE: NTS



1 HOLD DOWN BRACKET LAYOUT
SCALE: 1 = 200

IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

STEEL BUILDING BY
UNIVERSAL HOME IMPROVEMENTS (QLD) PTY LTD
07 4125 2300
FOR
MARK & JULIANNE GRUNSKA
AT
LOT 51 WILKINSON ROAD
BIG TUAN

DATE: 30/1/2024
CHECKED: TM
DRAWN: FDB

JOB NO.: HERV35906

fair dinkum builds™
SHED SAFE™
certified

BRACKET LAYOUT



This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application

The lot & plan details (eg. SP / RP) are shown on the title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include number,street, suburb / locality and postcode)

Lot 51 Wilkinson Road

Big Tuan

State:

Postcode : 4650

Lot and plan details (attach list if necessary)

Lot No:

SP/RP :

Local government area the land is situated in?

2. Description of aspect/s certified

Clearly describe the extent of work covered by this certificate. e.g all structural aspects of the steel roof beams.

Steel Portal Frame Structure.

12m span x 16.5m O/A length x 4.4m eaves height.

Consisting of 4 bays at 3.5m, 3.5m, 3.5m, 6m spacings.

Right leanto with 6m span.

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.

Australian Standards (list) AS/NZS 4600-2018, AS/NZS 1170.0,.1-2002, 1170.2-2021, 1170.3-2003,

1170.4-2007, AS2870-2011, AS3600-2018, AS5216-2021

2022 National Construction Code of Australia

NCC Building Classification = Class 10a

Region AS1170.2 = Reg B

Annual Probability Exceedance wind = 1:500

NCC Importance Level = 2

NCC Equivalent Wind class = N/A

Factor for Region = NA

Regional 3 s Gust Wind Speed for annual probability of exceedance $V_R = 57$ m/s

Wind directional multipliers for the 8 cardinal directions $M_d = 1.00$

Terrain/Height multiplier (M_z, Cat) = 0.83

Shielding Multiplier $M_s = 1$

Topographic multiplier $M_t = 1$

Design Wind Speed = 47 m/s *

External Pressure Coefficient c_{pe} = Roof = -0.90, 0.20; Walls = -0.65, 0.70

Internal Pressure Coefficient c_{pi} = -0.3, 0

Design Roof Live Load = 0.25 kPa

Coast Wide Certification Queensland

Reference: R24231

Approval Date: 18/04/2024

Subject to the conditions attached to the decision notice

Ross Scott

Certifier

A1072632

* Site Wind Speed Override In Use

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Drawing Nos: 'Fair Dinkum Builds' Structural Design Drawing
TO BE READ IN CONJUNCTION WITH PAGES 1 TO 8
FOR JOB NO. HERV35906 DATED : 30/1/2024
Specifications:
Computations:
Test Reports:
Other Documentation:

5. Building certifier reference number and building development application number

Building certifier reference number

Building development application number (if available)

6. Appointed competent person details

Under Part 6 of the Building Regulation, a person must be assessed as a competent for the type of work (design specification) by the relevant building certifier.

Name (in full)

Company name (if applicable) **Contact person**

Business phone number **Mobile number**

Email address

Postal address

Licence class or registration type (if applicable)

Licence or registration number (if applicable)

7. Signature of appointed competent person

This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design specification help.

Signature **Date**

Mr Timothy Roy Messer

LOCAL GOVERNMENT USE ONLY

Date received		Reference Number/s	
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Coast Wide Certification Queensland
Reference: R24231
Approval Date: 18/04/2024

Subject to the conditions attached to the decision notice
Ross Scott
Certifier
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Appendix - explanatory information

IMPORTANT NOTE: It is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

Who can complete this certificate? (section 10 of the *Building Act 1975* (Building Act) and 73 and 77 of the Building Regulation 2021 (BR 2021).

A building certifier can accept from a competent person (design-specification) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

When completing the certificate, a competent person is required under section 77 of the BR 2021 to include the basis for giving the certificate and state the extent to which the competent person has relied on tests, specifications, rules, standards, codes of practice or other publications.

What is the purpose of this form? (section 10 of the Building Act and sections 73 and 77 of the BR2 2021)

The information in this form informs the building certifier's decision making when they are assessing a building development application, issuing the building development approval for the building work the subject of the certificate (form) and when amending the building development approval due to the receipt of updated aspect information such as glazing or truss specifications or revised excavation drawings.

Can a manufacturer or supplier give this Form 15 ?

A building certifier can accept this form from a manufacturer or supplier who the certifier has decided is a competent person (design-specification).

A manufacturer or supplier of building materials can give this form if they have undertaken the design component for the product. For example a window manufacturer who designs, constructs and supplies the windows to industry could give this form.

Competent person (section 10 of the *Building Act 1975* and Part 6 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can accept design-specification help.

When deciding whether a person can be a competent person, the building certifier must assess the person having regard to their experience, qualifications and skills and ensure the person holds a licence or registration if required.

The building certifier is required to keep detailed records about what was considered when appointing a competent person.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

What is required if a manufacturer or supplier did not do the design work for the product?

A manufacturer or supplier who is not part of the design process may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a product technical statement under Part A5 of the Building Code of Australia (BCA), for an aspect or material stating that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

What if there is not enough space for all the supporting material/documents?

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is the Microsoft Word version, that you can download and edited to include additional material in the relevant parts of the form. **Note:** that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

Appointed competent person (design-specification) - (sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

PRIVACY NOTICE

The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.

Casa Wipacertifizierte Qualität
Reference: R24231
Approval Date: 18/04/2024
Subject to the conditions attached to the
Certificate
Certifier
A1072632



Coast Wide Certification Queensland
Reference: R24231
Approval Date: 18/04/2024
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decision notice
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Certifier
A1072632



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Map created by: anonymous



Scale: 1:1500 | Date: 30/01/2024